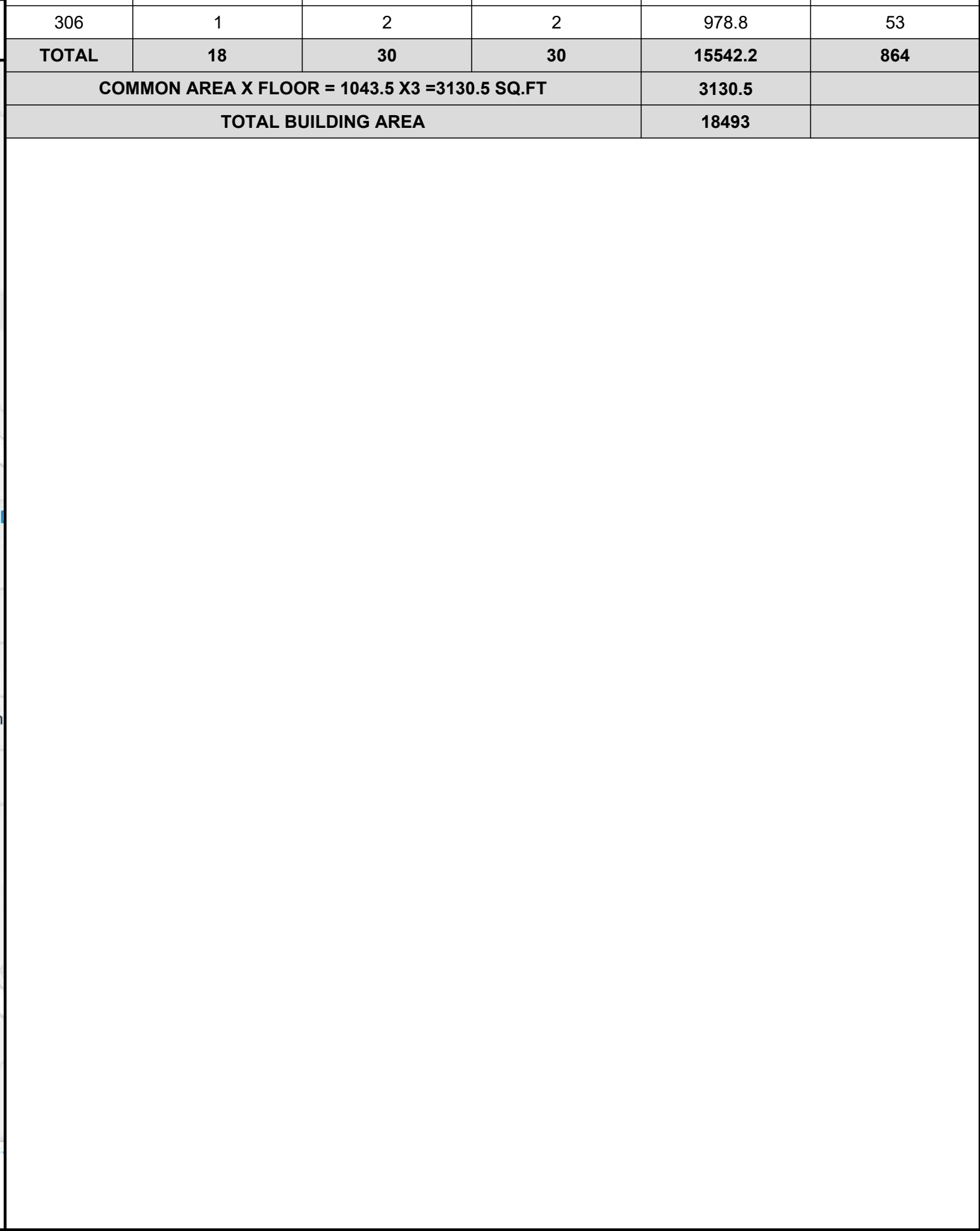
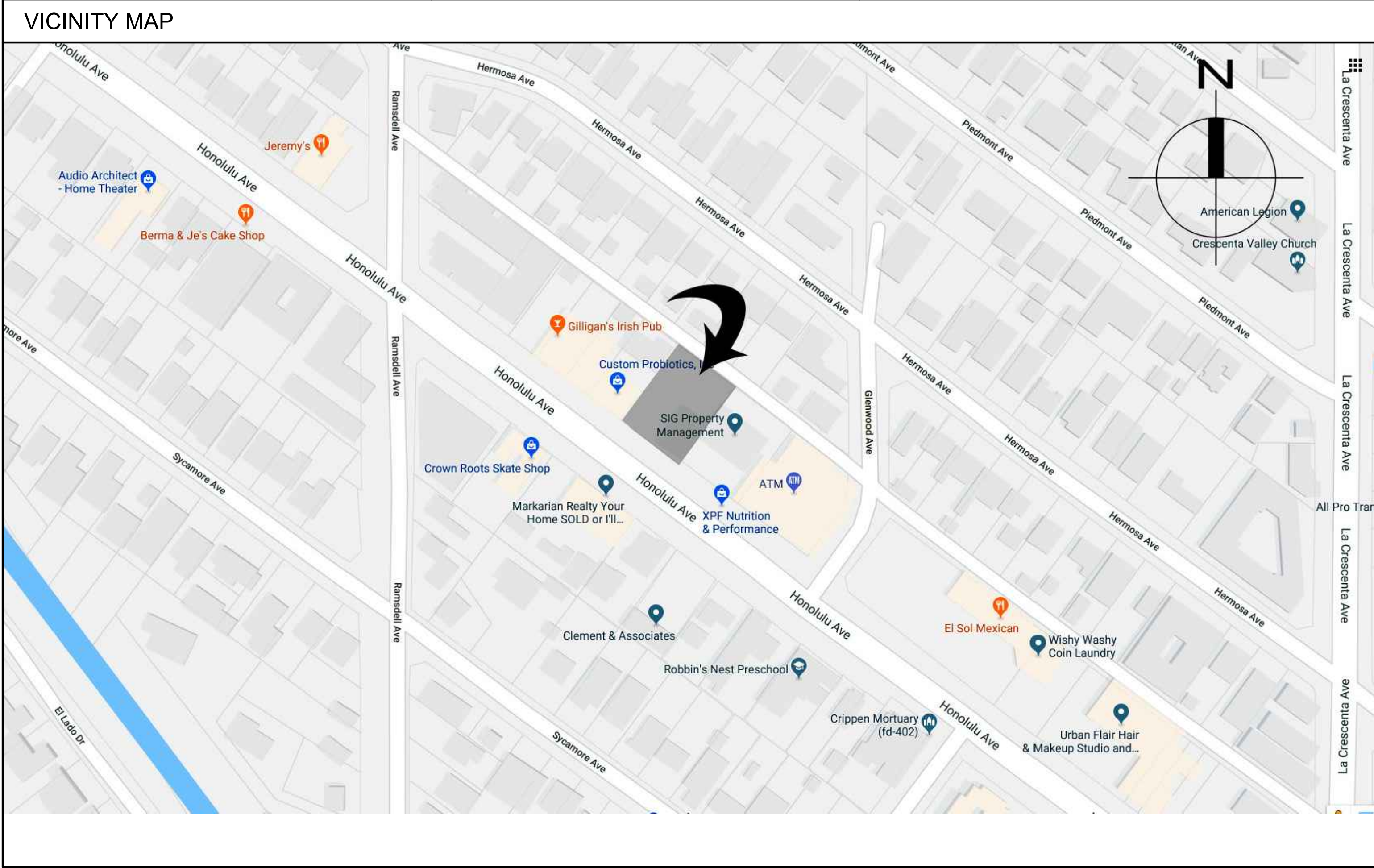


PROJECT DESCRIPTION	ENGINEER	SHEET INDEX	PROJECT DATA	BUILDING ANALYSIS																																																																																																												
NEW 3 - STORY 18 - UNIT APARTMENT BUILDING WITH SEMI - SUBTERRANEAN PARKING GARAGE	PATRICK BARATY 109 E. HARVARD ST. #306 GLENDALE, CA 91205 TEL: (818) 500-3966 FAX: (818) 548-8108	A-1 TITLE SHEET A-2 SITE PLAN A-2C COLORED SITE PLAN A-3 GARAGE FLOOR PLAN A-4 FIRST FLOOR PLAN A-5 SECOND FLOOR PLAN A-6 THIRD FLOOR PLAN A-7 ROOF PLAN A-8 ELEVATIONS A-8C COLORED ELEVATIONS A-9 ELEVATIONS A-9C COLORED ELEVATIONS A-10 SECTIONS A-11 PROJECT RENDERINGS W-1 WINDOW SURVEY L-1 FIRST FLOOR LANDSCAPE PLAN L-2 ROOFTOP LANDSCAPE PLAN L-3 FIRST FLOOR IRRIGATION PLAN L-4 ROOFTOP IRRIGATION PLAN L-5 DETAILS Z-1 PARKING & FIRST FLOOR SETBACK CALCULATION Z-2 SECOND & THIRD FLOOR SETBACK CALCULATION Z-3 LANDSCAPED & COMM. OPEN SPACE CALC.	ZONING C1 LOT SIZE BEFORE DEDICATION 100.00' X 132.99' LOT SIZE AFTER DEDICATION 100.00' X 127.99' LOT AREA BEFORE DEDICATION 13299 S.F. LOT AREA AFTER DEDICATION 12799 S.F. OCCUPANCY GROUP R2 / S-2 TYPE OF CONSTRUCTION V-A NUMBER OF STORIES 3 SPRIKLERED YES FIRE HAZARD ZONE NO CALIFORNIA CLIMATE ZONE 9 ZONING INFORMATION ALLOWABLE NUMBER OF UNITS 12799 / 1000 13 (MAX.) AFFORDABLE HOUSING BONUS (13 + 35%) 18 (MAX.) PROPOSED NUMBER OF UNITS 18 ALLOWABLE FLOOR AREA RATIO (MAX.) 1.2 (15359 S.F.) PROPOSED FLOOR AREA (5278.74+5166.76+5096.71 = 15542.2) 1.5 (19383 S.F.) ALLOWABLE LOT COVERAGE (MAX.) 50% (6400 S.F.) PROPOSED LOT COVERAGE 50% (6400 S.F.) REQUIRED LANDSCAPED AREA (MIN.) 25 % (3200 S.F.) PROPOSED LANDSCAPED AREA 26 % (3358 S.F.) REQUIRED COMMON OPEN SPACE (MIN.) 3600 S.F. PROVIDED COMMON OPEN SPACE 3616 S.F. ALLOWABLE BUILDING HEIGHT (MAX.) 25 FT. AS PER C1 ZONE WITH INTENSIVES 1 ADDITIONAL STORY PROPOSED BUILDING HEIGHT 42'-3" REQUIRED PARKING SPACES (1 PER BEDROOM) 30 PROVIDED PARKING SPACES 23 UNIT SUMMARY <table><tr><th>UNIT</th><th>NO. OF UNITS</th><th>NO.OF BEDROOMS</th><th>NO. OF BATHROOMS</th><th>FLOOR AREA S.F.</th><th>PRIVATE OPEN SPACE</th></tr><tr><td>101</td><td>1</td><td>2</td><td>2</td><td>976.1</td><td>40</td></tr><tr><td>102</td><td>1</td><td>1</td><td>1</td><td>583.14</td><td>40</td></tr><tr><td>103</td><td>1</td><td>2</td><td>2</td><td>1094.3</td><td>53</td></tr><tr><td>104</td><td>1</td><td>2</td><td>2</td><td>976.1</td><td>40</td></tr><tr><td>105</td><td>1</td><td>1</td><td>1</td><td>643.31</td><td>54</td></tr><tr><td>106</td><td>1</td><td>2</td><td>2</td><td>1005.79</td><td>53</td></tr><tr><td>201</td><td>1</td><td>2</td><td>2</td><td>920.11</td><td>46</td></tr><tr><td>202</td><td>1</td><td>1</td><td>1</td><td>583.14</td><td>40</td></tr><tr><td>203</td><td>1</td><td>2</td><td>2</td><td>1094.3</td><td>53</td></tr><tr><td>204</td><td>1</td><td>2</td><td>2</td><td>920.11</td><td>46</td></tr><tr><td>205</td><td>1</td><td>1</td><td>1</td><td>643.31</td><td>54</td></tr><tr><td>206</td><td>1</td><td>2</td><td>2</td><td>1005.79</td><td>53</td></tr><tr><td>301</td><td>1</td><td>2</td><td>2</td><td>920.11</td><td>46</td></tr><tr><td>302</td><td>1</td><td>1</td><td>1</td><td>583.14</td><td>40</td></tr><tr><td>303</td><td>1</td><td>2</td><td>2</td><td>1051.24</td><td>53</td></tr><tr><td>304</td><td>1</td><td>2</td><td>2</td><td>920.11</td><td>46</td></tr><tr><td>305</td><td>1</td><td>1</td><td>1</td><td>643.31</td><td>54</td></tr></table>	UNIT	NO. OF UNITS	NO.OF BEDROOMS	NO. OF BATHROOMS	FLOOR AREA S.F.	PRIVATE OPEN SPACE	101	1	2	2	976.1	40	102	1	1	1	583.14	40	103	1	2	2	1094.3	53	104	1	2	2	976.1	40	105	1	1	1	643.31	54	106	1	2	2	1005.79	53	201	1	2	2	920.11	46	202	1	1	1	583.14	40	203	1	2	2	1094.3	53	204	1	2	2	920.11	46	205	1	1	1	643.31	54	206	1	2	2	1005.79	53	301	1	2	2	920.11	46	302	1	1	1	583.14	40	303	1	2	2	1051.24	53	304	1	2	2	920.11	46	305	1	1	1	643.31	54	
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PROJECT ADDRESS	SURVEYOR																																																																																																															
2943 HONOLULU AVE, GLENDALE, CA 91214	RAY LOMBERA & ASSOCIATES. INC. 5015 EAGLE ROCK BLVD. LOS ANGELES, CA 90041 TEL: (323) 257-9771 FAX: (323) 257-9865 WWW.RAYLOMBERA.COM																																																																																																															
LEGAL DESCRIPTION	SOIL ENGINEER																																																																																																															
APN: 5610-015-043 CRESCENTA CANADA LOT COM S 24.92 FT AND N 53¢16'40" W 231.15 FT FROM MOST S COR OF TR # 12819 TH N 53¢16'40" W 100 FT TH S 36¢43'20" W TO NE LINE OF HONOLULU AVE TH SE THEREON 100 FT TH N 36¢43'20" E TO BEG PART OF LOT 14 BLK E	-																																																																																																															
PROPERTY OWNER																																																																																																																
BASMADJYAN PROPERTIES LLC. 1026 BRAMFORD DR GLENDALE CA 91207																																																																																																																
DESIGNER	APPLICABLE CODES																																																																																																															
DOMUS DESIGN 109 E. HARVARD ST. #306 GLENDALE, CA 91205 TEL: (818) 500-3966 FAX: (818) 548-81-08	CBC 2016, CEC 2016, CMC 2016, 2016 CPC, 2016 CEC, 2016 CFC, 2016 GBSC, 2017 GLENDALE BUILDING AND SAFETY CODE																																																																																																															



DOMUS

DESIGN

109 E. HARVARD ST. # 306, GLENDALE, CA 91205
TEL: (818) 500-3966
FAX: (818) 548-8108

RCB

ENGINEERING

109 E. Harvard St. #306
Glendale, CA 91205
TEL: (818) 500-3966
FAX: (818) 548-8108

REVISION	BY

OWNER

BASMADJYAN PROPERTIES LLC.
1026 BRAMFORD DR
GLENDALE CA 91207

PROJECT

2943 HONOLULU AVE,
GLENDALE, CA 91214


DRAWING TITLE

TITLE SHEET

REGISTERED PROFESSIONAL ENGINEER
PATRICK BARATY
S 5900
EXP. 09.30.21
STRUCTURAL
STATE OF CALIFORNIA

DATE: MAY 2020
SCALE: -
DRAWN:
APPROVED:
JOB: 2018-07
SHEET: A-1
OF SHEETS

**DOMUS
DESIGN**



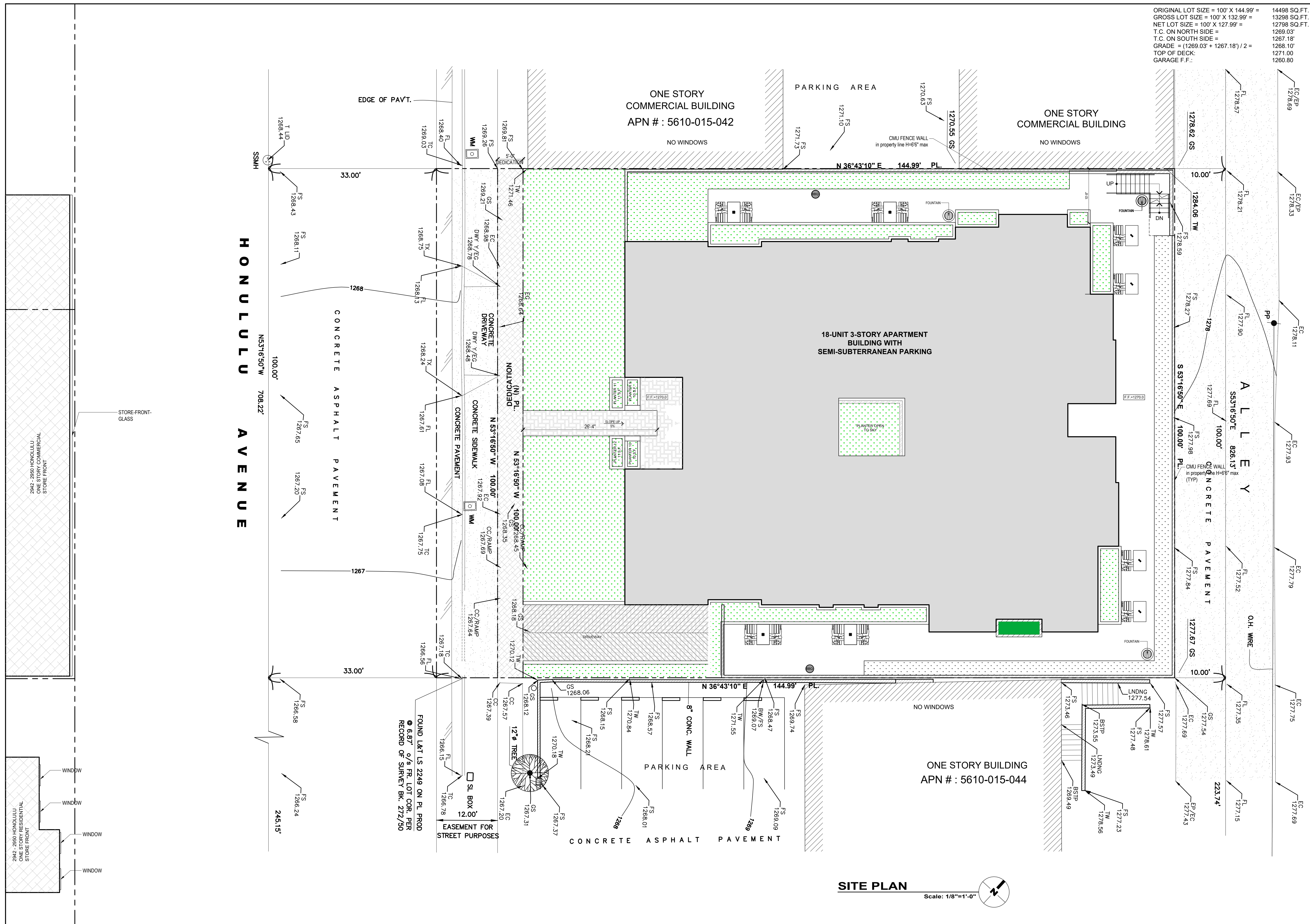
109 E. HARVARD ST. # 306, GLENDALE, CA 91205
TEL. (818) 500-3966
FAX. (818) 548-8108

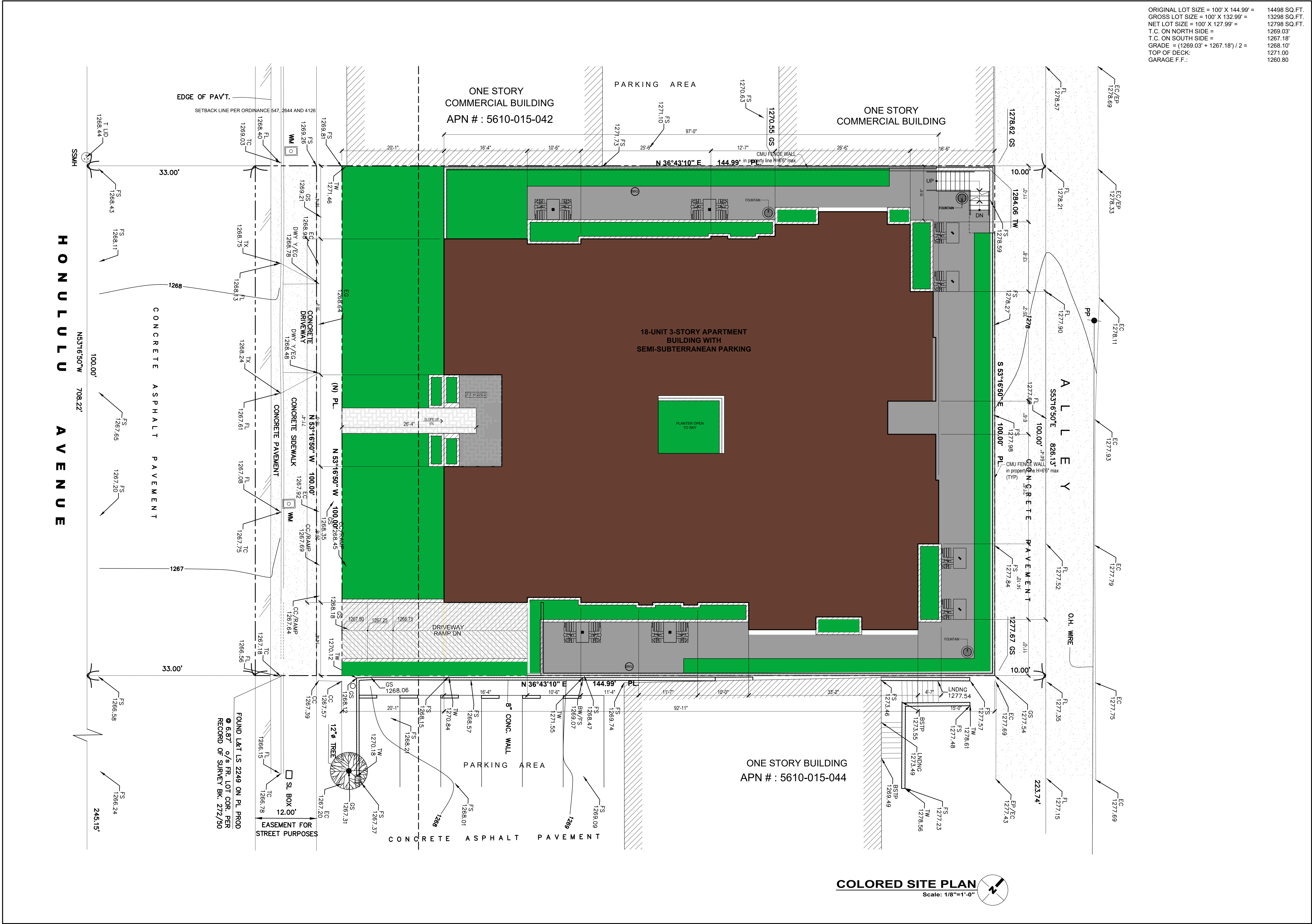
REVISION	BY

PROJECT	2943 HONOLULU AVE., GLENDALE, CA 91214
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DATE:	MAY 2020
SCALE:	1/8"=1'-0"
DRAWN:	
APPROVED:	
JOB:	2018-07
SHEET:	
	A-2
OF	SHEETS





ORIGINAL LOT SIZE = 100' X 144.99' = 14498 SQ.FT.
GROSS LOT SIZE = 100' X 132.99' = 13298 SQ.FT.
NET LOT SIZE = 100' X 127.99' = 12798 SQ.FT.
T.C. ON NORTH SIDE = 1269.03'
T.C. ON SOUTH SIDE = 1267.18'
GRADE = (1269.03' + 1267.18') / 2 = 1268.10'
TOP OF DECK: 1271.00
GARAGE F.F.: 1260.80

COLORED SITE PLAN
Scale: 1/8"=1'-0"

DOMUS DESIGN
109 E. HARVARD ST. # 306, GLENDALE, CA 91205
TEL: (818) 500-3966 FAX: (818) 548-8108

RCB ENGINEERING
109 E. Harvard St. #306
Glendale, CA 91205
TEL: (818) 500-3966
FAX: (818) 548-8108

REVISION	BY

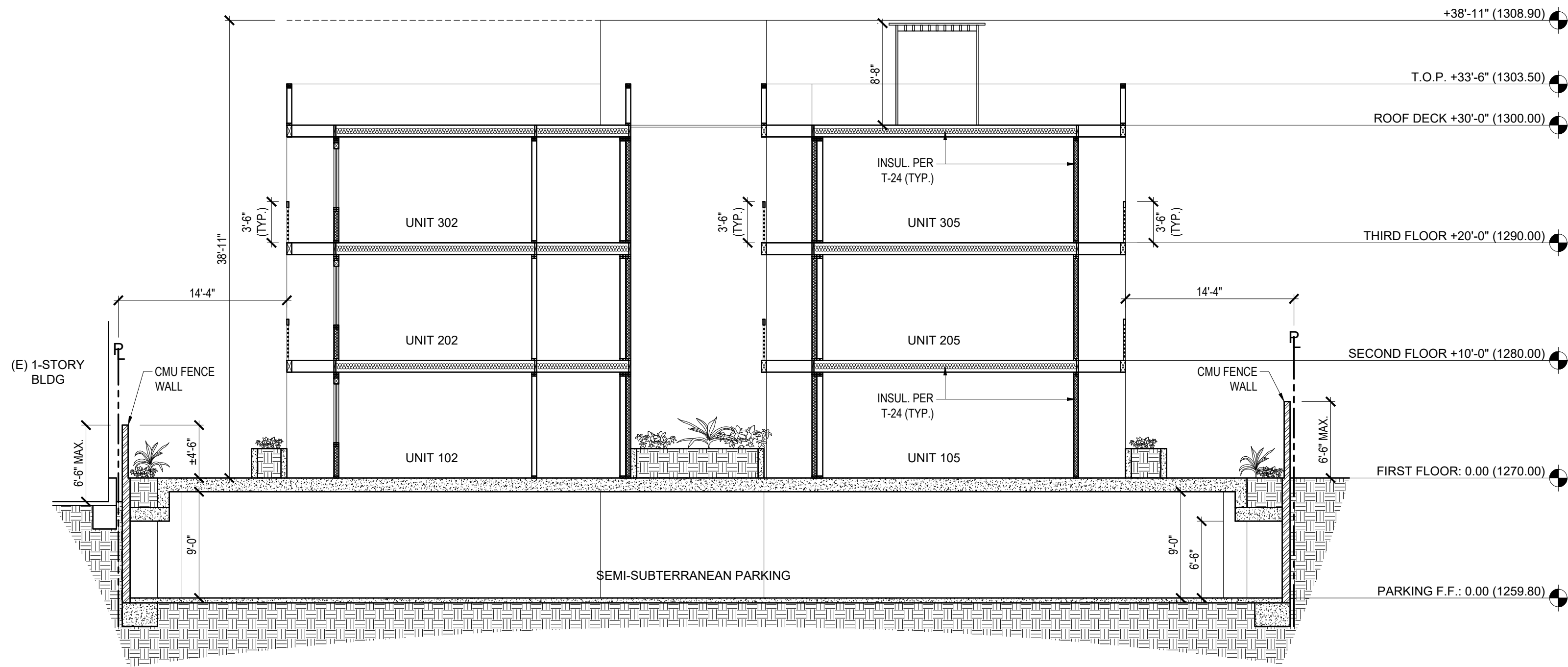
OWNER
BASMADJYAN PROPERTIES LLC.
1026 BRAMFORD DR
GLENDALE CA 91207

PROJECT
2943 HONOLULU AVE,
GLENDALE, CA 91214

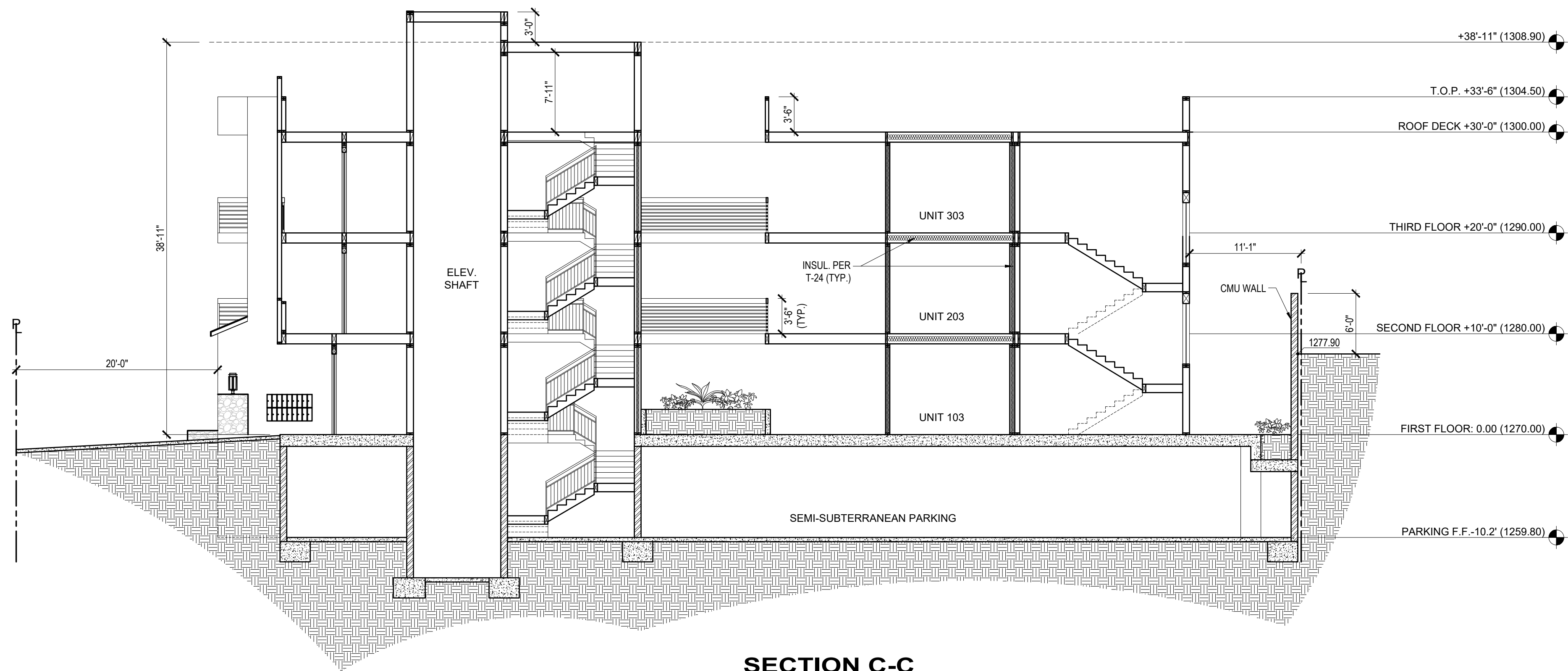
DRAWING TITLE
COLORED SITE PLAN

REGISTERED PROFESSIONAL ENGINEER
PATRICK BAKAT
S 5900
EXP. 09.30.21
STRUCTURAL
STATE OF CALIFORNIA

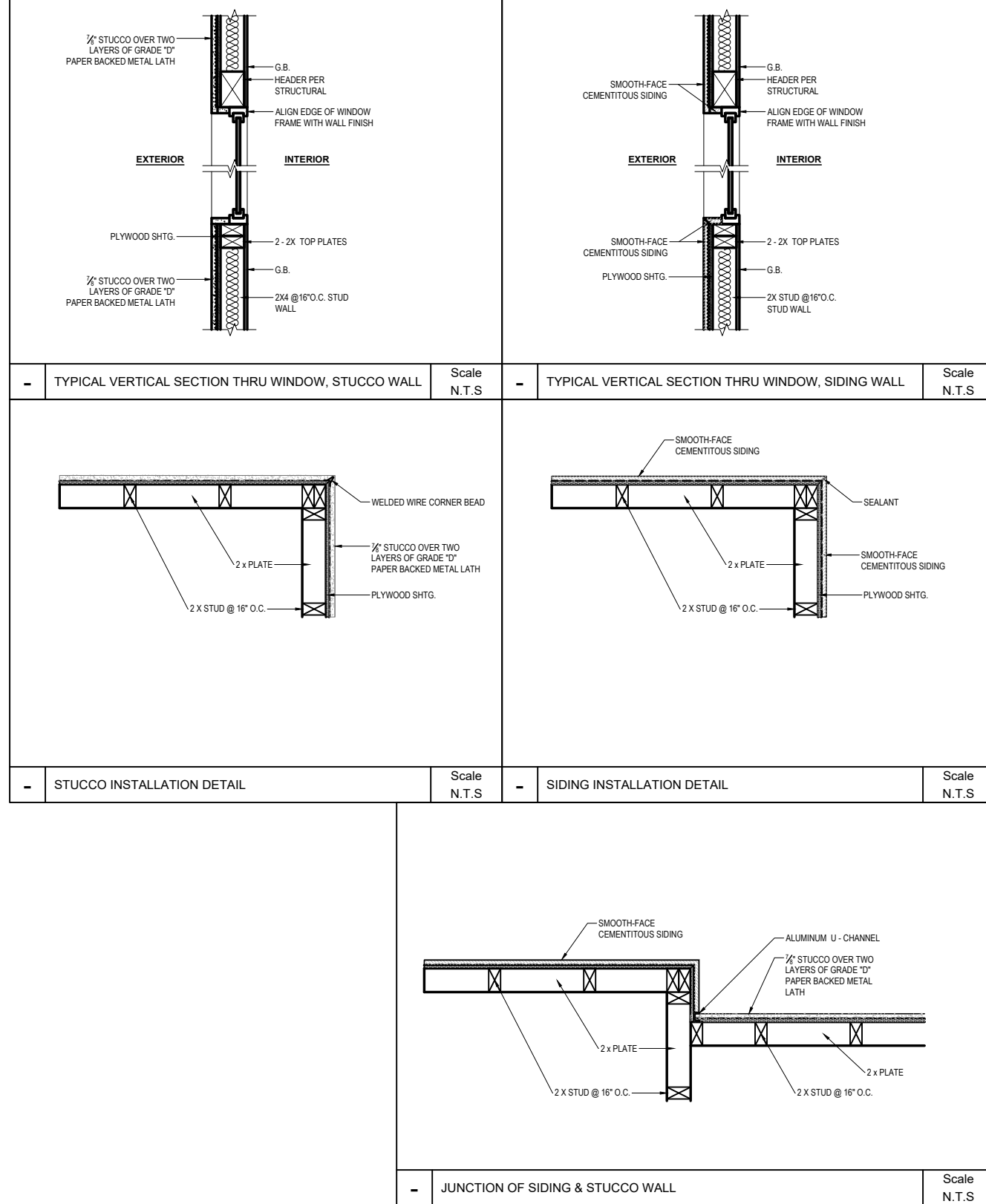
DATE: MAY 2020
SCALE: 1/8"=1'-0"
DRAWN:
APPROVED:
JOB: 2018-07
SHEET:
A-2C
OF SHEETS



SECTION B-B
Scale: 1/8"=1'-0"



SECTION C-C
Scale: 1/8"=1'-0"



DOMUS

DESIGN

109 E. HARVARD ST. # 306, GLENDALE, CA. 91205

TEL: (818) 500-3966

FAX: (818) 548-8108

RCB

ENGINEERING

109 E. Harvard St. #306

Glandale, CA 91205

TEL: (818) 500-3966

FAX: (818) 548-8108

REVISION	BY

OWNER	PROJECT	DRAWING TITLE
<div>BASMADJYAN PROPERTIES LLC. 1026 BRAMFORD DR GLENDALE CA 91207</div>	<div>2943 HONOLULU AVE, GLENDALE, CA 91214</div>	<div>SECTIONS</div>

REGISTERED PROFESSIONAL ENGINEER

PATRICK BAKAT

S 5900

EXP. 09.30.21

STRUCTURAL

STATE OF CALIFORNIA

DATE: MAY 2020

SCALE: 1/8"=1'-0"

DRAWN:

APPROVED:

JOB: 2018-07

SHEET: A-10

OF SHEETS



SOUTH VIEW



WEST VIEW



NORTH VIEW



EAST VIEW

DOMUS
DESIGN

109 E. HARVARD ST. # 306, GLENDALE, CA. 91205
TEL: (818) 500-3966 FAX: (818) 548-8108

RCB
ENGINEERING

109 E. Harvard St. #306
Glendale, CA 91205
TEL: (818) 500-3966
FAX: (818) 548-8108

REVISION	BY

OWNER	PROJECT
BASMADJYAN PROPERTIES LLC. 1026 BRAMFORD DR GLENDALE CA 91207	2943 HONOLULU AVE, GLENDALE, CA 91214

DRAWING TITLE	PROJECT
PROJECT RENDERINGS	2943 HONOLULU AVE, GLENDALE, CA 91214

DATE: MAY 2020

SCALE:

DRAWN:

APPROVED:

JOB: 2018-07

SHEET: **A-11**
OF SHEETS



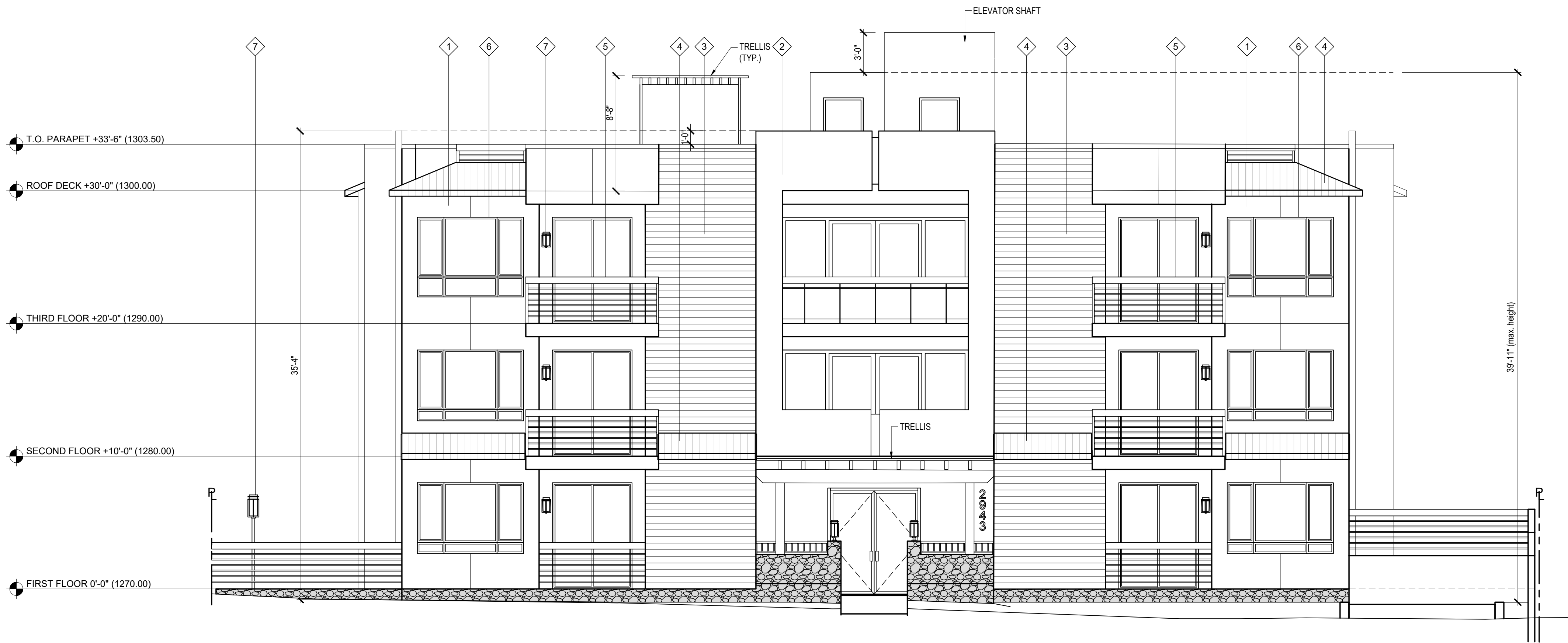
REVISION	BY

OWNER
BASMADJAN PROPERTIES
LLC.
1026 BRAMFORD DR
GLENDALE CA 91207

PROJECT
2943 HONOLULU AVE,
GLENDALE, CA 91214

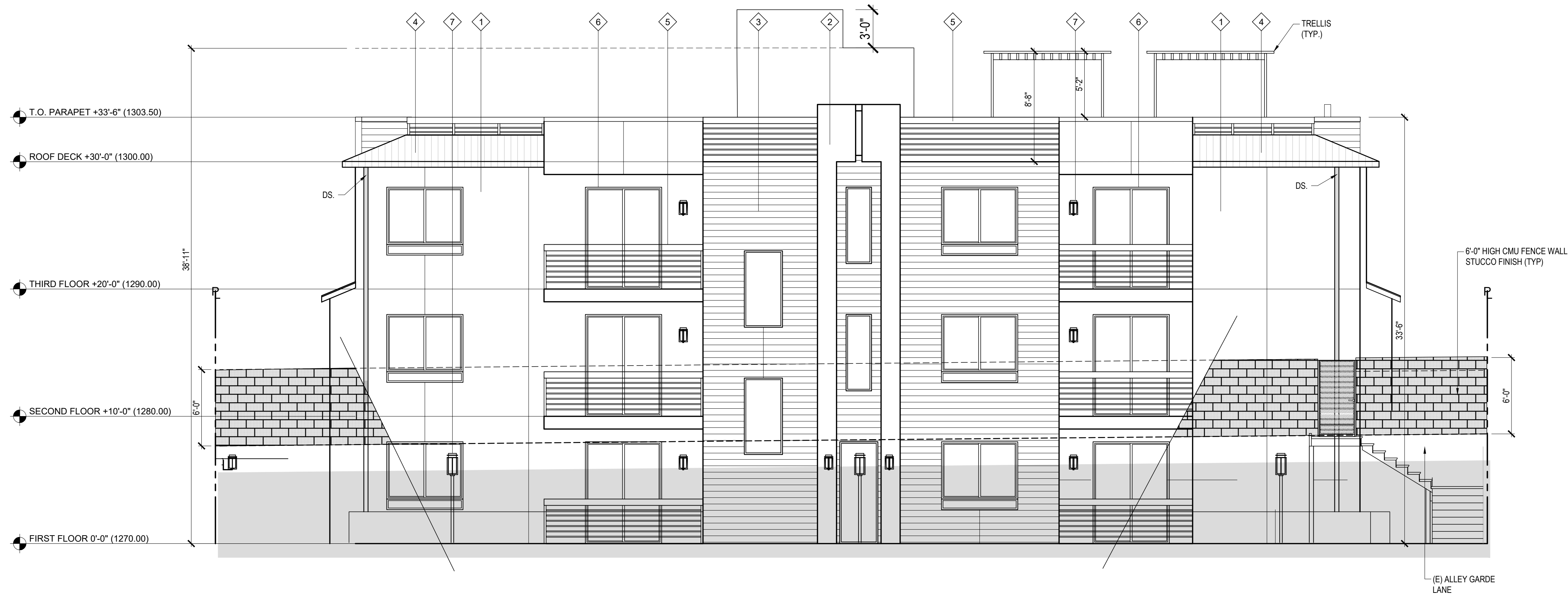
DRAWING TITLE
NATN
FIRST FLOOR PLAN





SOUTH-WEST ELEVATION

Scale: 3/16"=1'-0"



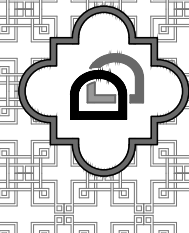
NORTH-EAST ELEVATION

Scale: 3/16"=1'-0"

EXTERIOR FINISH SCHEDULE		
KEYNOTE	MATERIAL BRAND	COLOR
1	LAHABRA STUCCO	CHABLIS X-12 (74) BASE 100
2	LAHABRA STUCCO	Fallbrook X-434 (42) Base 200
3	ALLURA SMOOTH-FACE HORIZONTAL CEMENTITIOUS SIDING	RED ROCK FALLS
4	METAL ROOFING	METAL SALES - BROWN 12 26 GAUGE - EASTERN
5	STEEL RAILING AND PARAPET CAP	WILD BILL BROWN DET688 RL#985
6	MILGARD FIBERGLASS DOOR & WINDOW	MILGARD CLASSIC BROWN
6	KICHLER - TREMILLO COLLECTION BLACK OUTDOOR WALL LIGHT AND POST LIGHT	BLACK FINISH. ALUMINUM CONSTRUCTION. SATIN-ETCHED CASED OPAL GLASS.

Note:
All gutters and downspouts are finished to match the adjacent wall color

DOMUS
DESIGN



109 E. HARVARD ST. # 306, GLENDALE, CA 91205
TEL: (818) 500-3966 FAX: (818) 548-8108

RCB
ENGINEERING

109 E. Harvard St. #306
Glendale, CA 91205
TEL: (818) 500-3966
FAX: (818) 548-8108

REVISION	BY

OWNER

BASMADJYAN PROPERTIES
LLC.
1026 BRAMFORD DR
GLENDALE CA 91207

PROJECT

2943 HONOLULU AVE,
GLENDALE, CA 91214

DRAWING TITLE

SOUTH-WEST &
NORTH-EAST ELEVATIONS



DATE: MAY 2020

SCALE: 3/16"=1'-0"

DRAWN:

APPROVED:

JOB: 2018-07

SHEET: **A-8**
OF SHEETS

Note:
All gutters and downspouts are finished to match the adjacent wall color



DOMUS
D E S I G N

109 E. HARVARD ST. # 306, GLENDALE, CA. 91205
TEL: (818) 500-3966 FAX: (818) 548-8108

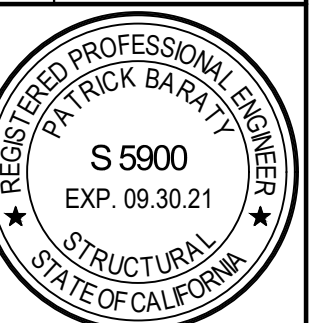
RCB
ENGINEERING
19 E. Harvard St. #306
Palo Alto, CA 94301
TEL: (818) 500-3966
FAX: (818) 548-8108

OWNER
BASMADJAN PROPERTIES
LLC.
1026 BRAMFORD DR
GLENDALE CA 91207

PROJECT
2943 HONOLULU AVE,
GLENDALE, CA 91214

DRAWING TITLE

SOUTH-WEST &
NORTH-EAST ELEVATIONS



DATE:	MAY 2020
SCALE:	3/16"=1'-0"
DRAWN:	
APPROVED:	
DOB:	2018-07
SHEET:	
A-8C	
OF	SHEETS



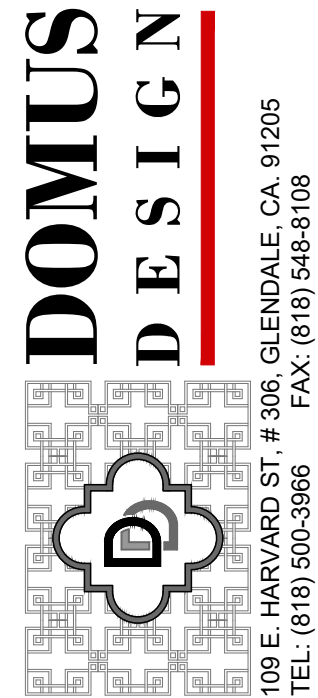
SOUTH-EAST ELEVATION
Scale: 3/16"=1'-0"

EXTERIOR FINISH SCHEDULE		
KEYNOTE	MATERIAL BRAND	COLOR
1	LAHABRA STUCCO	CHABLIS X-12 (74) BASE 100
2	LAHABRA STUCCO	Fallbrook X-434 (42) Base 200
3	ALLURA SMOOTH-FACE HORIZONTAL CEMENTITIOUS SIDING	RED ROCK FALLS
4	METAL ROOFING	METAL SALES - BROWN 12 26 GAUGE - EASTERN
5	STEEL RAILING AND PARAPET CAP	WILD BILL BROWN DET688 RL#985
6	MILGARD FIBERGLASS DOOR & WINDOW	MILGARD CLASSIC BROWN
6	KICHLER - TREMILLO COLLECTION BLACK OUTDOOR WALL LIGHT AND POST LIGHT	BLACK FINISH. ALUMINUM CONSTRUCTION. SATIN-ETCHED CASED OPAL GLASS.

Note:
All gutters and downspouts are finished to match the adjacent wall color



NORTH-WEST ELEVATION
Scale: 3/16"=1'-0"



REVISION	BY

OWNER
BASMADJYAN PROPERTIES
LLC.
1026 BRAMFORD DR
GLENDALE CA 91207

PROJECT
2943 HONOLULU AVE,
GLENDALE, CA 91214

DRAWING TITLE
SOUTH-EAST &
NORTH-WEST ELEVATIONS



DATE: MAY 2020
SCALE: 3/16"=1'-0"
DRAWN:
APPROVED:
JOB: 2018-07
SHEET:

OF **A-9** SHEETS



NORTH-WEST ELEVATION
Scale: 3/16"=1'-0"

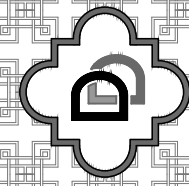


SOUTH-EAST ELEVATION
Scale: 3/16"=1'-0"

EXTERIOR FINISH SCHEDULE		
KEYNOT E	MATERIAL, BRAND	COLOR
1	LAHABRA STUCCO	CHABLIS X-12 (74) BASE 100
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6	KICHLER - TREMILLO COLLECTION BLACK OUTDOOR WALL LIGHT AND POST LIGHT	BLACK FINISH, ALUMINUM CONSTRUCTION, SATIN-ETCHED CASED OPAL GLASS.

Note:
All gutters and downspouts are finished to match the adjacent wall color

DOMUS
DESIGN




109 E. HARVARD ST. # 306, GLENDALE, CA 91205
TEL: (818) 500-3966 FAX: (818) 548-8108

RCB
ENGINEERING

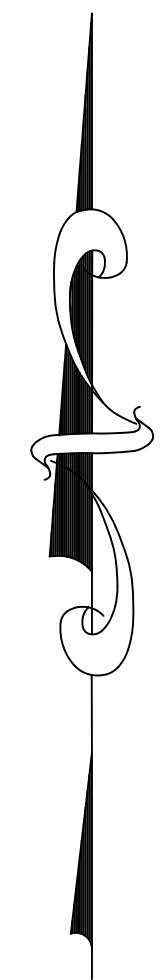
109 E. Harvard St. #306
Glendale, CA 91205
TEL: (818) 500-3966
FAX: (818) 548-8108

REVISION	BY

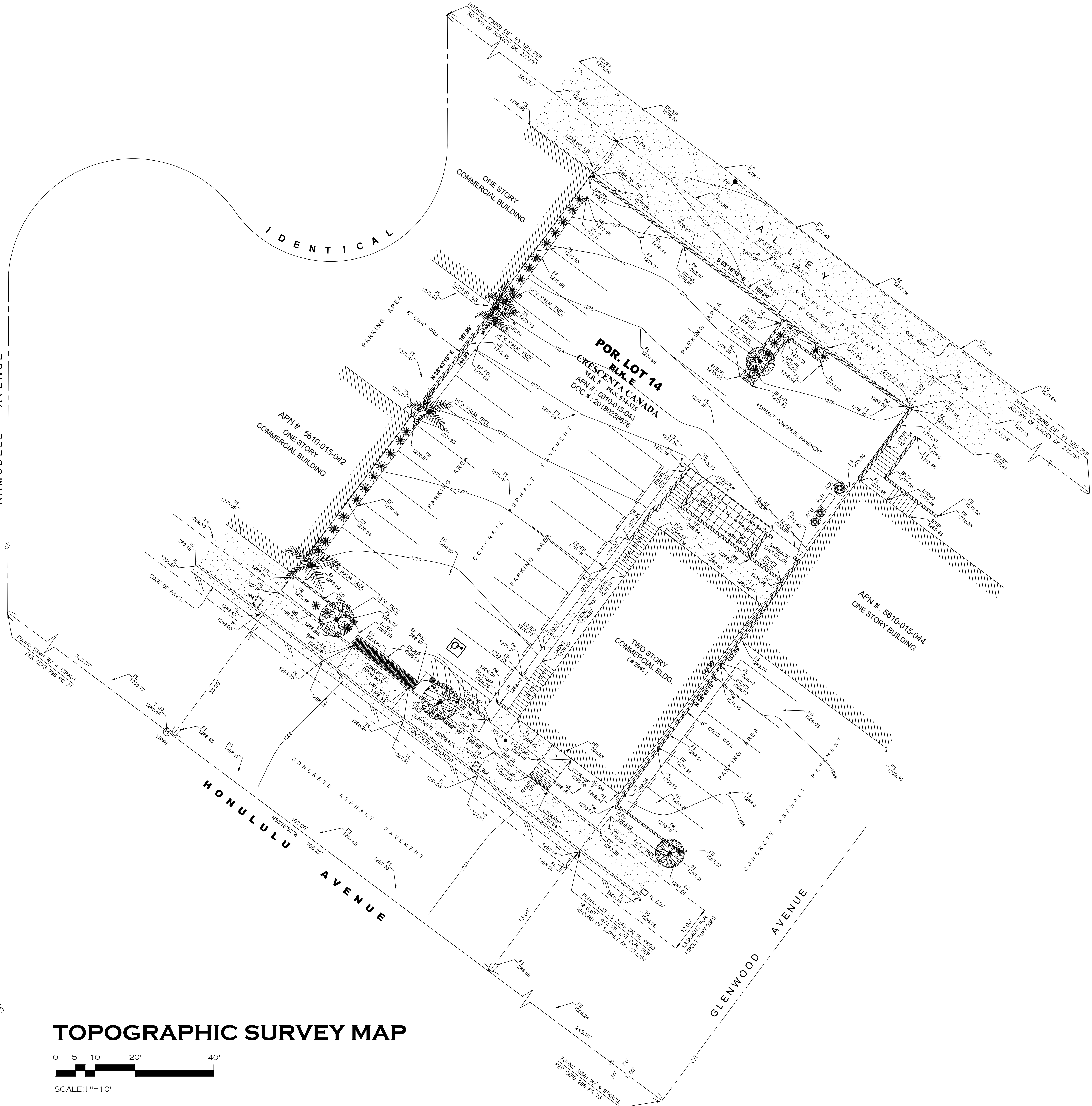
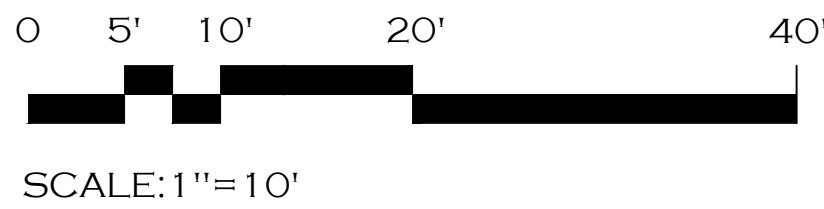
OWNER	PROJECT	DRAWING TITLE
BASMADJYAN PROPERTIES LLC. 1026 BRAMFORD DR GLENDALE CA 91207	2943 HONOLULU AVE, GLENDALE, CA 91214	SOUTH-EAST & NORTH-WEST ELEVATIONS



DATE: MAY 2020
SCALE: 3/16"=1'-0"
DRAWN:
APPROVED:
JOB: 2018-07
SHEET: **A-9C**
OF SHEETS



TOPOGRAPHIC SURVEY MAP



LEGEND

---	CENTER LINE
---	PROPERTY LINE
-x-x-x-	CHAIN LINK FENCE
-\\-\\-\\-	WOOD FENCE
-	LOT LINE
-G-G-	GAS LINE
-S-S-	SEWER LINE
-W-W-	WATER LINE
-T-T-	OVER HEAD TELEPHONE CABLE
	WOOD WALL
=====	CONC. WALL
=====	EDGE OF PAVT
A.C.	ASPHALT CONCRETE
ACU	AIR CONDITIONING UNIT
C.C.	CONCRETE CEMENT/CONC. CORNER
C.C.C.	CONCRETE CEMENT CURB
BC	BUILDING CORNER
BW	BACK OF WALK/BOTTOM WALL
CB	CATCH BASIN
CL	CENTERLINE
OLF	CHAIN LINK FENCE
CV	CONTROL VALVE
CW	COLDWATER LINE
DI	DRAINAGE INLET
DO	DRAINAGE OUTLET
DR	DOOR
DRWY	DRIVEWAY
DS	DOWNSPOUT
EB	ELECTRIC BOX
EP	EDGE OF PAVEMENT
ET	ELECTRIC TRANSFORMER
EV	ELECTRIC VAULT
FD	FLOOR DRAIN
FL	FLOW LINE
FN	FIRE HYDRANT
FO	FENCE
FP	FLAGPOLE / FIRE PLACE
FS	FINISH SURFACE
FWV	FIRE WATER VALVE
GFF	GARAGE FINISH FLOOR
GM	GAS METER
GS	GROUND SHOT
GV	GAS VALVE/GATE VALVE
GWA	GUY WIRE ANCHOR
HFF	HOUSE FINISH FLOOR
ICB	IRRIGATION BOX CONTROL
LP	LIGHT POLE
MH	MANHOLE
MTL	METAL
PL	PROPERTY LINE
PP	POWER POLE
PB	PULL BOX
SSCO	SANITARY SEWAGE CLEANOUT
SS	STREET SIGN/STOP SIGN
SDCB	STORM DRAIN CATCH BASIN
SDMH	STORM DRAIN MANHOLE
SLB	STREET LIGHT BOX
TB	TOP OF BERM
TC	TOP OF CURB
TW	TOP OF WALL
TX	TOP OF "X"
UGA	UNDERGROUND ACCESS
WB	WATER SIB
WM	WATER METER
WV	WATER VALVE
(100.00)	RECORD DISTANCE
100.00 (m)	MEASURED DISTANCE
100.00 (c)	CALCULATED DISTANCE
(C & M)	CALCULATED AND MEASURED
●	POWER POLE
—●—	GUY WIRE ANCHOR
■	CATCH BASIN
⊕	SSMH (SANITARY SEWER MANHOLE) OR UTILITY MANHOLE
⊙	TREE
⊙	OAK TREE
⊙	PINE TREE
⊙	PALM TREE
⊙	YUCCA TREE
⊙	FIRE HYDRANT
⊙	PP/ELECTROLIER
⊙	VALVE (UTILITY)
⊙	METER
⊙	VERTICAL & HORIZONTAL CONTROL POINT

NOTE :

1. THE BOUNDARY LINES SHOWN HEREON ARE FOR REFERENCE ONLY. COMPILED FROM CITY AND COUNTY RECORDS.
2. THIS MAP DOES NOT SHOW ANY EASEMENTS UNLESS SPECIFIED HEREON.

BASIS OF BEARING

THE BEARING OF N 53°16'50" W ON HONOLULU AVE. AS SHOWN IN TRACT NO. 67368 M.B. 1368 PAGES 93-94, WAS USED AS THE BASIS OF BEARING FOR THIS MAP.

LEGAL DESCRIPTION

PORT LOT 14, BLK. E OF CRESCENTA CANADA, IN THE CITY OF GLENDALE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 5, PAGES 574-575 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

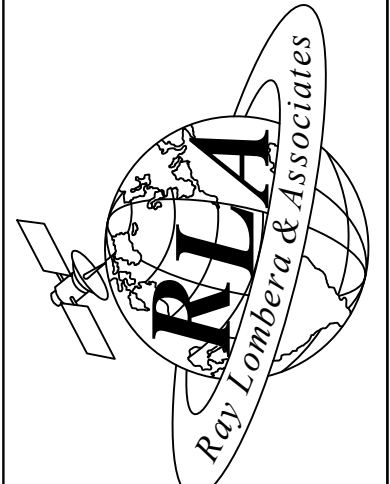
DOCUMENT # : 20180239676

BENCH MARK

CITY OF GLENDALE BENCHMARK
BENCHMARK # : BM2465
MAIN STREET : HONOLULU AVE.
CROSS STREET : RAMSDELL AVE.
YEAR : 2011
ELEVATION : 1275.99 FEET
LOCATION : BRASS DISK IN NLY CURB HONOLULU AVE 1.0 FT ELY OF BCR N-ELY CORNER, STAMPED 'CITY OF GLENDALE BENCHMARK 2465 SET 2011'
N= 5024.0414
E= 5030.3726

REVISIONS:

Ray Lombera & Associates, Inc.
Land Surveying Planning Land Development
135 S. JACKSON ST., STE. 202, GLENDALE, CALIFORNIA 91205
TEL. (323) 257-9771 FAX. (323) 257-9865 WWW.RAYLOMBERA.COM



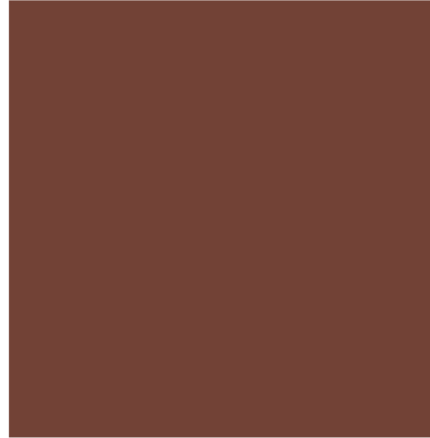
JOB ADDRESS:
2943 HONOLULU AVE., GLENDALE, CA 91214

REQUESTED BY:
DOMUS DESIGN C/O GARO NAZARIAN

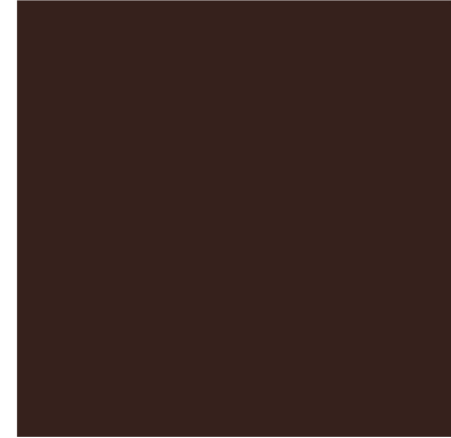
CHECKED BY:	R.L.
DRAWN BY:	R.D.P.
DATE:	MAY 14, 2018
SCALE:	1"=10'-0"
SHEET NO.	C-1
SHEET 1 OF 1	



Dunn Edwards - Wild Bill Brown
DET688 RL#985
(Railing and Parapet caps)



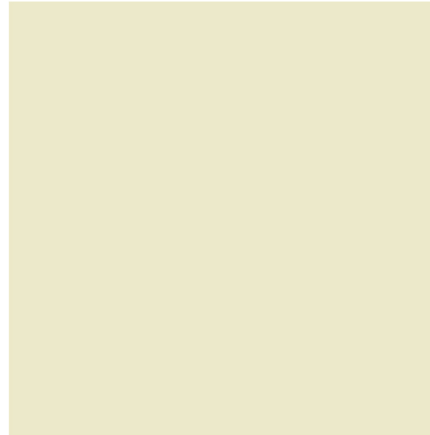
Metal Sales - Brown 12
26 Gauge - Eastern
(Metal Roofing)



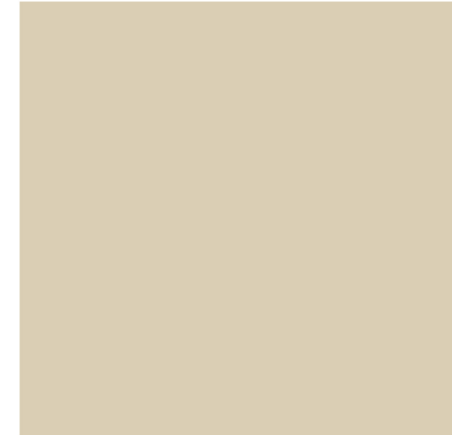
Milgard Classic Brown
(Windows and Doors)



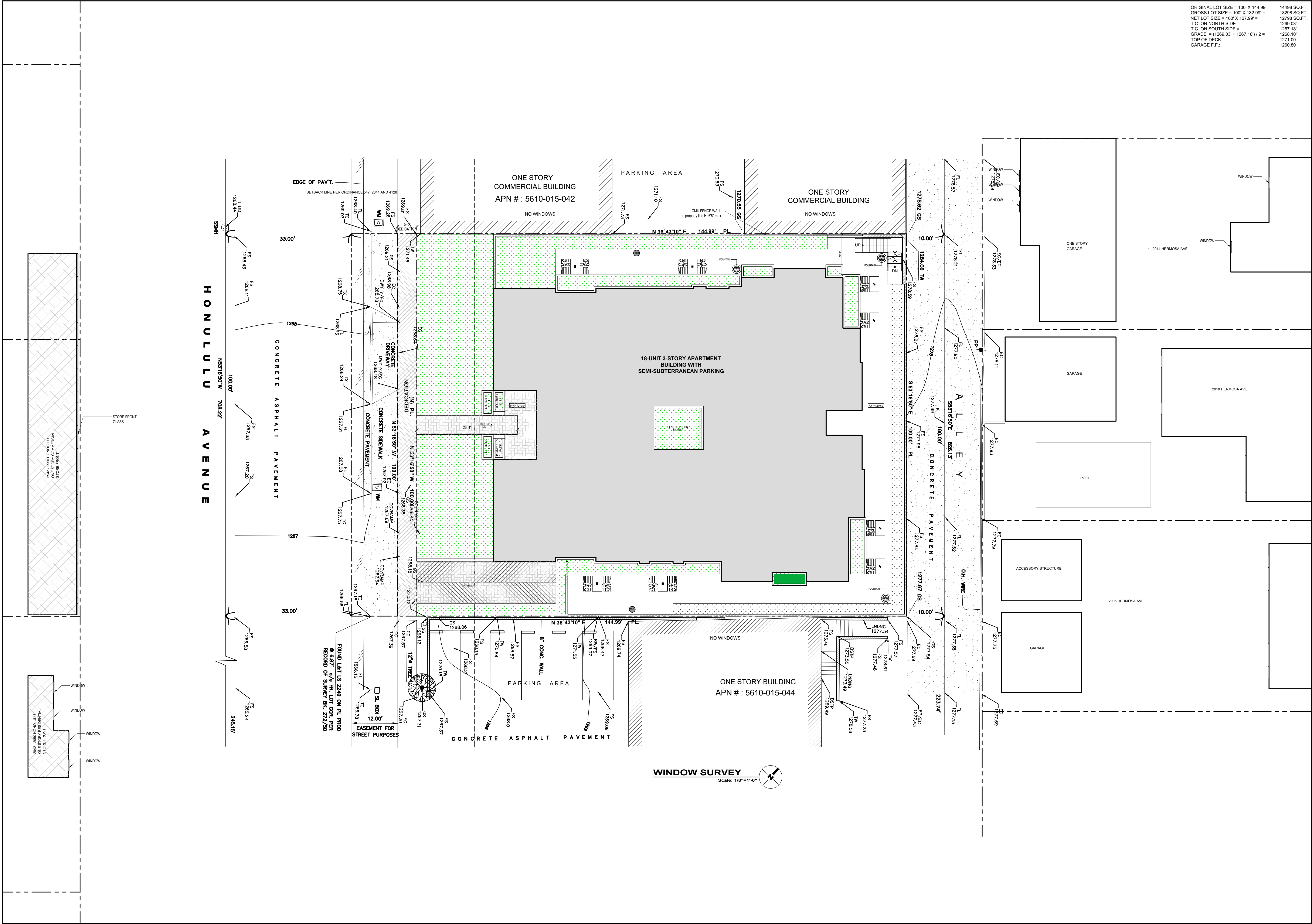
Allura-Siding-Red Rock Falls
8.25 inch
(Fiber Cement Siding)



CHABLIS
X-12 (74) BASE 100
(Building Envelope)



Fallbrook
X-434 (42) Base 200
(Building Decorative Elements)



**DOMUS
DESIGN**

109 E. HARVARD ST. # 306
GLENDALE, CA 91205
TEL: (818) 500-3966
FAX: (818) 548-9108

**RCB
ENGINEERING**

109 E. Harvard St. #306
Glendale, CA 91205
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FAX: (818) 548-9108

REVISION	BY

OWNER
BASMADJAN PROPERTIES LLC.
1026 BRAMFORD DR
GLENDALE CA 91207

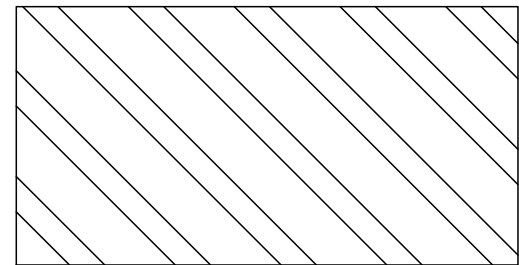
PROJECT
2943 HONOLULU AVE,
GLENDALE, CA 91214

DRAWING TITLE
WINDOW SURVEY

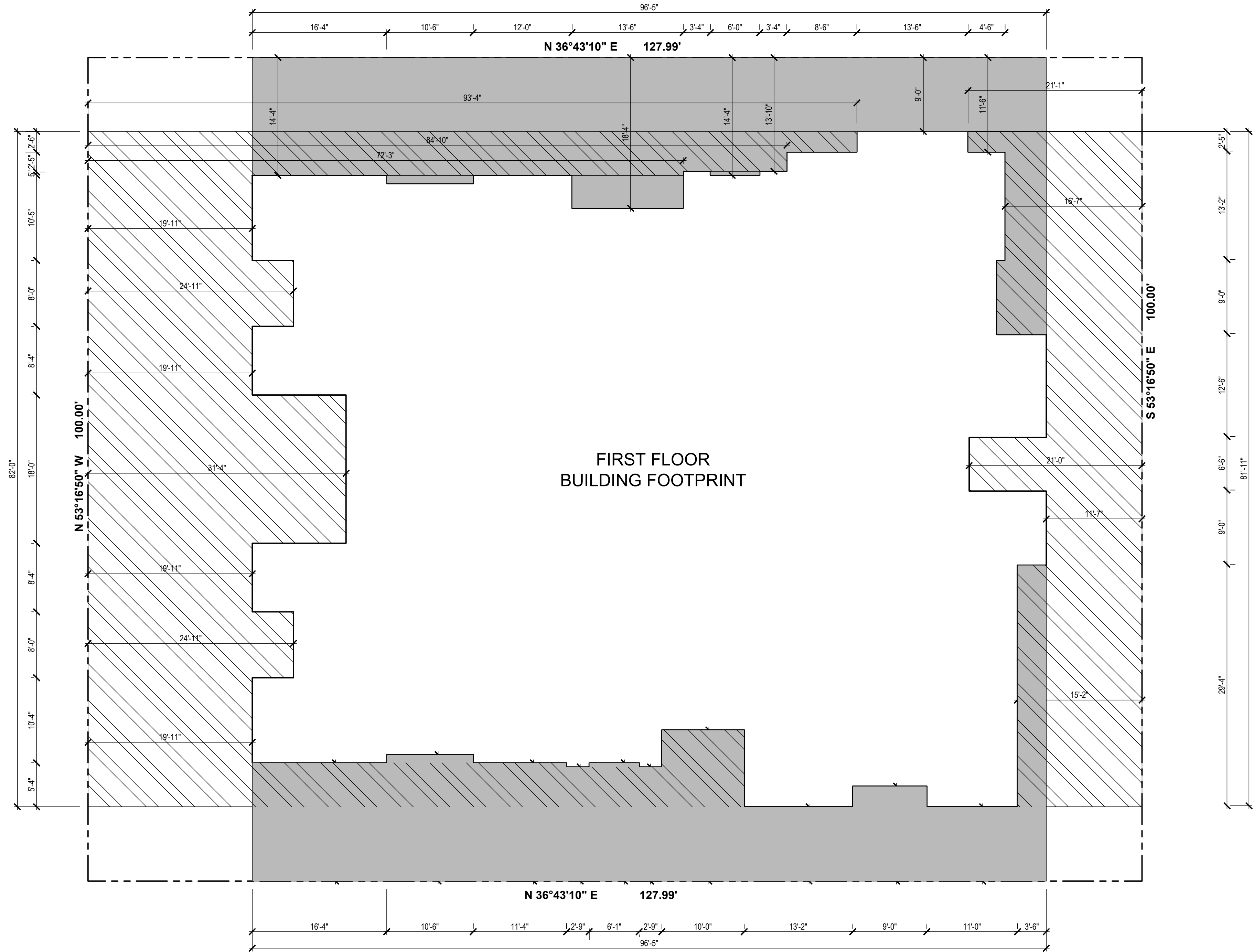
DATE: MAY 2020
SCALE: 3/32" = 1'-0"
DRAWN:
APPROVED:
JOB: 2018-07
SHEET:
W-1
OF SHEETS



north & south setback area



east & west setback area



FIRST FLOOR BUILDING FOOTPRINT
Scale: 1/8"=1'-0"

SETBACK CALCULATION

FIRST FLOOR

FRONT (WEST)		
BUILDING WIDTH: 82'-0"	REQUIRED	PROVIDED
MINIMUM:	20'-0"	20'-0"
AVERAGE:	23'-0" (1886 S.F.)	32'-1" (2634 S.F.)
REAR (EAST)		
BUILDING WIDTH: 82'-0"	REQUIRED	PROVIDED
MINIMUM:	5'-0"	11'-7"
AVERAGE:	8'-0" (656 S.F.)	15'-4" (1260 S.F.)
SIDE (NORTH)		
BUILDING WIDTH: 96'-5"	REQUIRED	PROVIDED
MINIMUM:	5'-0"	9'-0"
AVERAGE:	8'-0" (772 S.F.)	14'-10" (1437 SQ.FT.)
SIDE (SOUTH)		
BUILDING WIDTH: 96'-5"	REQUIRED	PROVIDED
MINIMUM:	5'-0"	9'-0"
AVERAGE:	8'-0" (772 S.F.)	13'-2"(1227 SQ.FT.)

REVISION	BY

OWNER
BASMADJYAN PROPERTIES LLC. 1026 BRAMFORD DR GLENDALE CA 91207

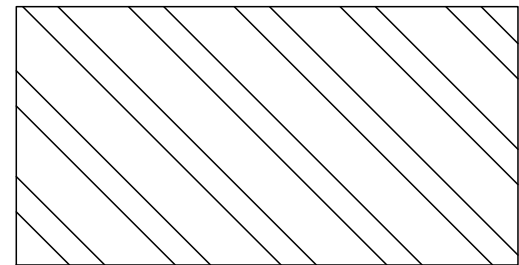
PROJECT
2943 HONOLULU AVE, GLENDALE, CA 91214

DRAWING TITLE
PARKING & FIRST FLOOR SETBACK CALCULATION

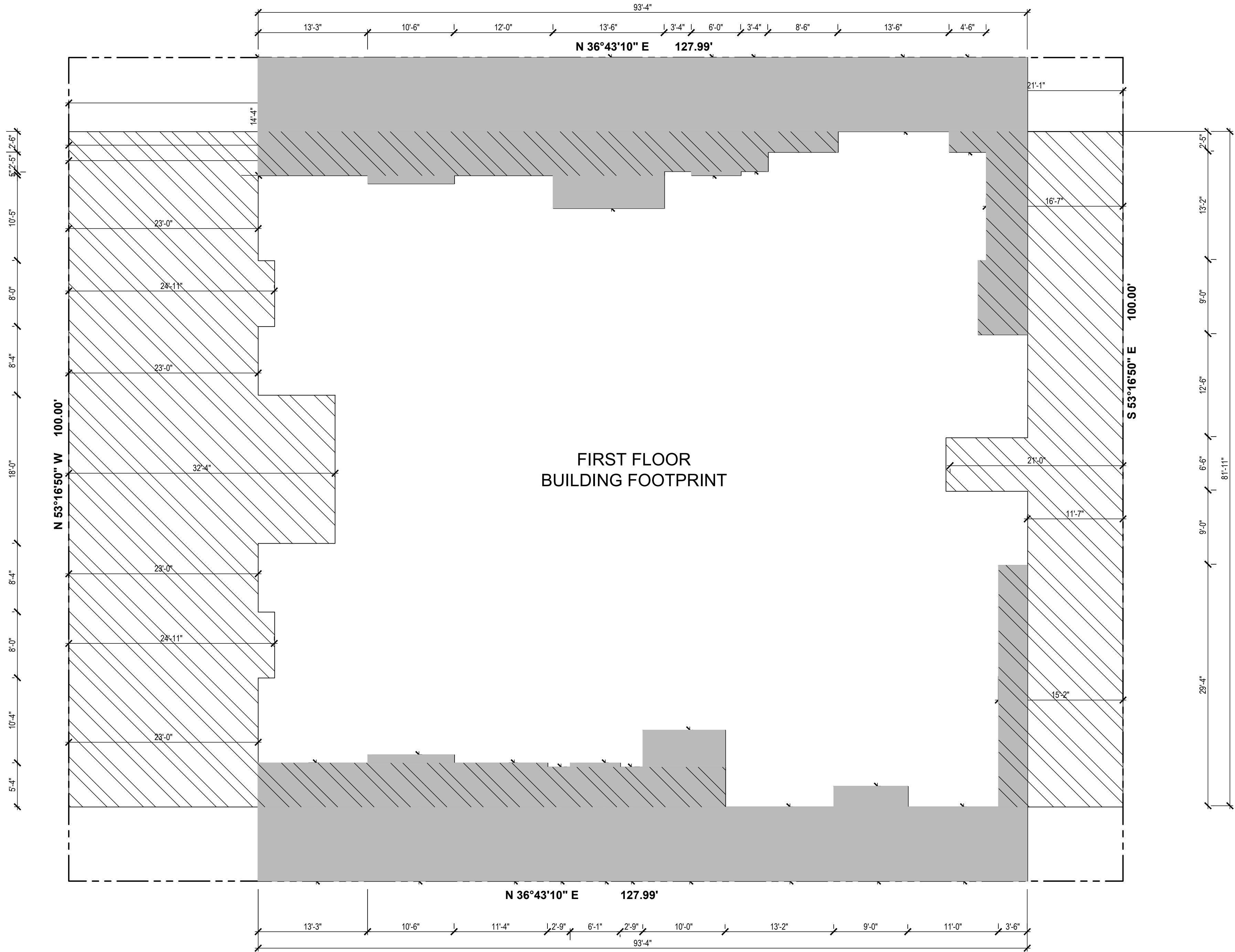




north & south setback area

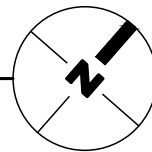


east & west setback area



SECOND & THIRD FLOOR BUILDING FOOTPRINT

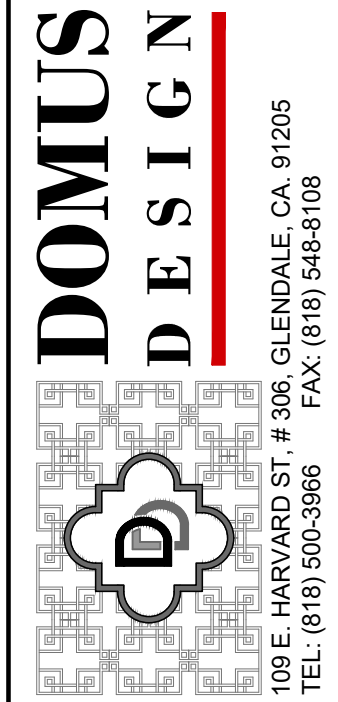
Scale: 1/8"=1'-0"



SETBACK CALCULATION

SECOND FLOOR

FRONT (WEST)		
BUILDING WIDTH: 82'-0"	REQUIRED	PROVIDED
MINIMUM:	23'-0"	20'-0"
AVERAGE:	26'-0" (2132 S.F.)	33'-2" (2722 S.F.)
REAR (EAST)		
BUILDING WIDTH: 82'-0"	REQUIRED	PROVIDED
MINIMUM:	8'-0"	11'-7"
AVERAGE:	11'-0" (902 S.F.)	15'-4" (1259 S.F.)
SIDE (NORTH)		
BUILDING WIDTH: 93'-5"	REQUIRED	PROVIDED
MINIMUM:	8'-0"	9'-0"
AVERAGE:	11'-0" (1027 S.F.)	14'-10" (1388 SQ.FT.)
SIDE (SOUTH)		
BUILDING WIDTH: 93'-5"	REQUIRED	PROVIDED
MINIMUM:	8'-0"	9'-0"
AVERAGE:	11'-0" (772 S.F.)	14'-1" (1316 SQ.FT.)



RCB
ENGINEERING

109 E. Harvard St. #306
Glendale, CA 91205
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REVISION	BY

OWNER	PROJECT
BASMADJYAN PROPERTIES LLC. 1026 BRAMFORD DR GLENDALE CA 91207	2943 HONOLULU AVE, GLENDALE, CA 91214

DRAWING TITLE	PROJECT
SECOND FLOOR SETBACK CALCULATION	2943 HONOLULU AVE, GLENDALE, CA 91214

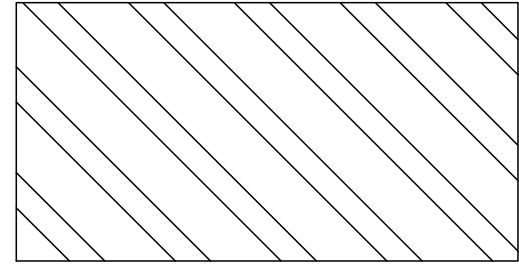


DATE:	MAY 2020
SCALE:	1/8"=1'-0"
DRAWN:	
APPROVED:	
JOB:	2018-07
SHEET:	

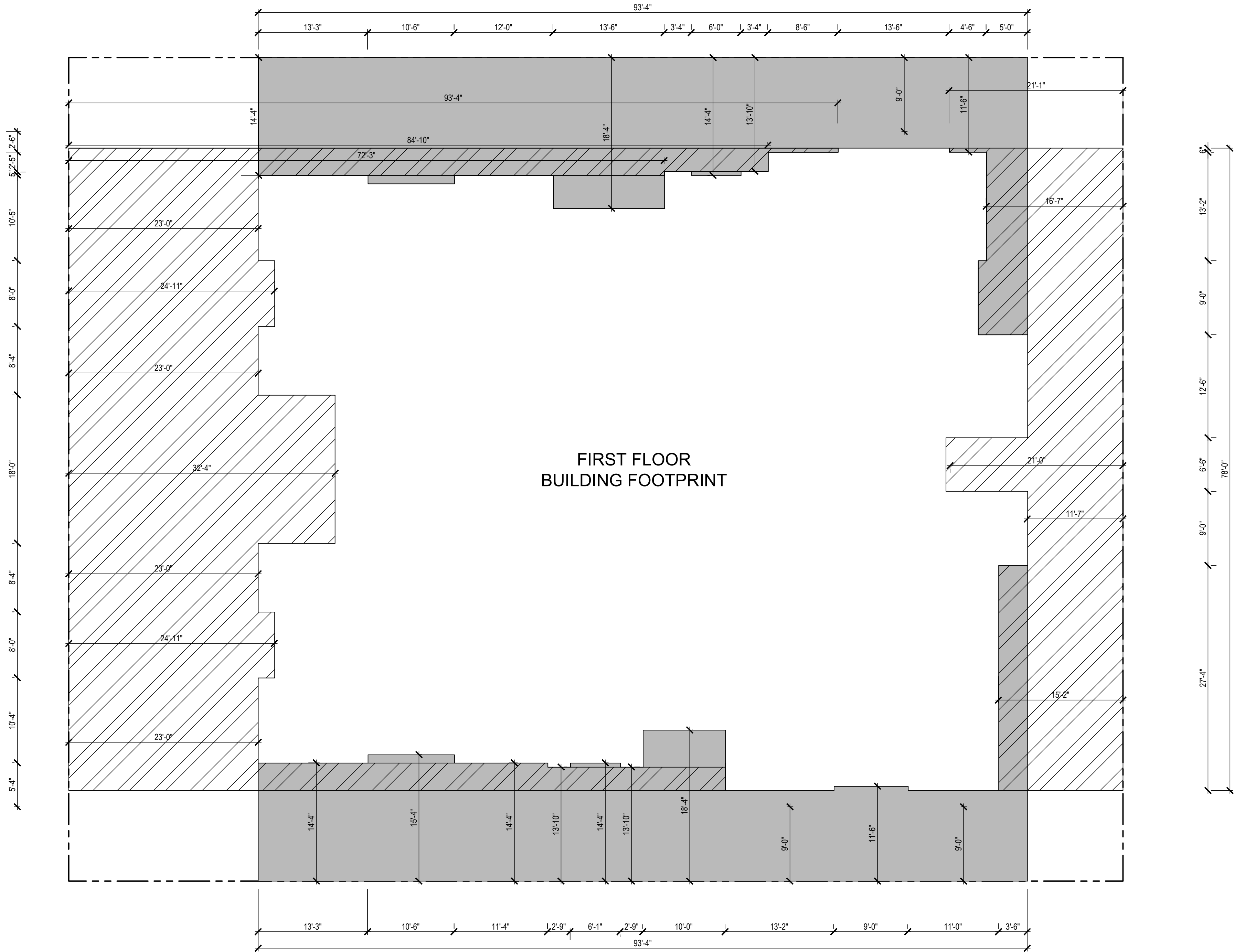
Z-2
OF SHEETS



north & south setback area



east & west setback area



FIRST FLOOR
BUILDING FOOTPRINT

SETBACK CALCULATION

THIRD FLOOR

FRONT (WEST)		
BUILDING WIDTH: 78'-0"	REQUIRED	PROVIDED
MINIMUM: 23'-0"		23'-0"
AVERAGE: 26'-0" (2028 S.F.)		30'-5" (2376 S.F.)
REAR (EAST)		
BUILDING WIDTH: 82'-0"	REQUIRED	PROVIDED
MINIMUM: 11'-0"		11'-7"
AVERAGE: 14'-0" (1148 S.F.)		14'-5" (1187 S.F.)
SIDE (NORTH)		
BUILDING WIDTH: 93'-5"	REQUIRED	PROVIDED
MINIMUM: 11'-0"		9'-0"
AVERAGE: 14'-0" (1308 S.F.)		15'-2" (1424 SQ.FT.)
SIDE (SOUTH)		
BUILDING WIDTH: 93'-5"	REQUIRED	PROVIDED
MINIMUM: 11'-0"		9'-0"
AVERAGE: 14'-0" (1308 S.F.)		14'-7" (1364 SQ.FT.)

DOMUS

DESIGN

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RCB

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Glendale, CA 91205
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FAX: (818) 548-8108

REVISION	BY

OWNER	PROJECT	DRAWING TITLE
BASMADJYAN PROPERTIES LLC. 1026 BRAMFORD DR GLENDALE CA 91207	2943 HONOLULU AVE, GLENDALE, CA 91214	THIRD FLOOR SETBACK CALCULATION

REGISTERED PROFESSIONAL ENGINEER

PATRICK BARATY

S 5900

EXP. 09.30.21

STRUCTURAL

STATE OF CALIFORNIA

DATE: MAY 2020

SCALE: 1/8"=1'-0"

DRAWN:

APPROVED:

JOB: 2018-07

SHEET: Z-2

OF SHEETS